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Inspected By: Simon Perez



Residential Inspection Report

Prepared For:

Unspecified Client

Property Address:

Unspecified Address

Inspected on Sun, Aug 12 2018 at 9:00 AM

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Thank you for the opportunity to conduct your residential home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property and to assist you in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Safety Hazard: At the time of inspection, the component being referenced is something that could cause a person or animal to be severely injured or killed. Immediate action should be taken to remedy the defect and in some cases prior to moving into the structure.

Unspecified Address

Money: The component(s) being referenced may exceed \$1500.00 to remedy if done by a qualified and licensed contractor.

General

Property Type:	Single Family
Stories:	Three
SF:	1300
Approximate Age:	67 Years
Age Based On:	Listing
Bedrooms/Baths:	4/2
Furnished:	Yes
Occupied:	Yes
Weather:	Sunny, Raining
Temperature:	Hot
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Owner



Comment 1:

Home Inspections Today, LLC inspection provides a visual mold inspection as part of the overall home inspection and will report any substance that appears to be mold from readily accessible areas. The only true way to determine if mold is present is to have a certified mold company/specialist inspect and test for mold. Any mention of mold in this report should be considered a recommendation to inspect and test for mold.



Comment 2:

Numerous areas of the structure such as attics, basements, crawlspaces, walls, floors and other surfaces may have been inaccessible or obstructed during the inspection by furniture and/or stored items. Home Inspections Today, LLC inspection makes every attempt to do the most thorough inspection while being non-intrusive, as mandated by State law.

(General continued)



Comment 3:

This report is not a guarantee or warranty as to the absence of wood destroying organisms, nor is it a guarantee that the inspector found all areas where wood destroying organisms dwell, or any damage that may exist. Wood destroying organisms may exist in concealed or inaccessible areas. This report is not a structural integrity report and there is no warranty, expressed or implied, included in this report.



Comment 4:

Home Inspections TodayLLC inspection performs a level 1 fireplace inspection as part of the general home inspection. It is recommended that any single family home, multi-family home, condo or town home that has a fireplace or wood burning stove get a level 2 fireplace inspection by a licensed fireplace contractor/inspector prior to use. Do not use your fireplace until you have had it fully inspected. Home Inspection TodayLLC is not licensed or certified to do a full level 2 fireplace inspection nor is it part of the general home inspection services we provide or mandated by NY or CT state guidelines.



Comment 5:

Property disclaimer: This home inspection does not determine the boundaries of the property or whether appropriate permits for additions or improvements have been obtained and closed out with the local Building Department. Also, this report does not address title or zoning issues, easements, covenants, deed restrictions and the like. These issues should be addressed by your title search company and/or your Attorney. This report does not determine the value of the property or the comparative value to similar homes in or around the area. A "competitive market analysis" (CMA) can be obtained from your Realtor.

(General continued)



Comment 6:

Recommendation: After moving into the house, it is strongly recommend to have the locks changed or re-keyed if applicable. Over the years, previous owners may have distributed the keys to family and friends. A new set of locks would ensure privacy and security. If the house has remote garage door openers, we also recommend changing the access code(s) as well.



Comment 7:

Subpart 197 4. State code of ethics and regulations for home inspectors:

Section 197-5.16 Limitations and Exclusions

(A). Home inspectors are not required to observe any item that is concealed or not readily accessible to the home inspector. The home inspector is not required to move furniture, personal or stored items, with floor coverings, move attached wall or ceiling coverings or panels, or perform any test or procedure which could damage or destroy the item being evaluated.

(B). Home inspectors are not required to observe appliances, recreational facilities, alarm systems, intercoms, speaker systems, radio controlled devices, security devices and lawn irrigation systems.

(C). Home inspectors shall not be required to determine the presence or absence of any suspected hazardous substance including but not limited to, latent service and/or sub surface volatile organic compounds, PCB's, asbestos, urea formaldehyde insulation, toxins, carcinogens, diseases, wood destroying organisms, mold, hazardous plants, illicit drugs or drug making equipment, lead paint, noise or contaminants in soil, water, air quality, wetlands or any other environmental hazard.

(D). Except as otherwise necessary and required by this standards of practice, home inspectors are not required to use special instruments or testing devices, such as amp meters, pressure gauges, moisture meters, gas detectors and similar equipment.

(E). Home inspectors are not required to report on real property, geological,

(General continued)

environmental or hazardous-waste conditions, manufacturer recalls for conformance of proper manufacture installation of any component or system, or information contained in consumer protection bulletins. Home inspectors are not required to report upon past or present violations of code, ordinances or regulations.

(F). Home inspectors are not required to provide an inspection of any condominium common component or system, or to evaluate condominium reserve accounts.

(G). Home inspectors are not required to enter any residential building or area of a building that, in the opinion of the home inspector, is dangerous to the safety of the home inspector or others or that will result in damage to the property, it's systems or components.

(H). Home inspector shall not be required to enter any area or perform any procedure which, in the opinion of the home inspector, may damage the property or its components.

(I). Home inspectors shall not be required to observe any system or component that is not included in this standards of practice.

(J). Home inspections performed in accordance with these standards of practice are not technically exhaustive and are not required to identify concealed conditions, latent defects or consequential damages.

(K). Home inspectors are not required to determine:

1. Conditions of systems or components that are not readily accessible.
2. The remaining life expectancy of any system or component.
3. The strength, accuracy, effectiveness or efficiency of any system or component.
4. The causes of any condition or deficiency.
5. The methods, materials or costs of corrections.
6. The future condition of a system or component including, but not limited to, the failure of the system and/or components.
7. The suitability of the property for any specialized use.

(General continued)

8. The advisability of purchase of the property.
9. The presence of potentially hazardous plants or animals including, but not limited to, wood destroying organisms or diseases harmful to humans including molds or mold like substances.
10. The presence of any environmental hazard including, but not limited to, toxins, carcinogens, noise, and contaminants in soil, water and air.
11. The effectiveness of any system installed or method utilized to control or remove suspected hazardous substances.
12. Operating costs of systems or components.
13. Acoustical properties of any system or component.
14. Soil conditions related to geotechnical or hydrologic specialties.

(L). Home inspectors are not required to offer:

1. To perform work in any trade or profession other than home inspection.
2. Warranties or guarantees of any kind.

(M). Home inspectors are not required to operate:

1. Any system or component that is shut down or otherwise inoperable.
2. Any system or component that does not respond to normal operating controls and shall not be required to dismantle any system or component, except as explicitly required by these standards of practice.
3. Shut off valves or manual stop valves.
4. Any system or component that, in the opinion of the home inspector, is dangerous to the home inspector or other persons, or will result in damage to the residential building, it's systems or its components.

(N). Home inspectors are not required to observe:

1. Concealed spaces or components for underground items including, but not limited to, underground storage tanks or other underground indications of their presence, whether abandoned or otherwise.
2. Items that have not been installed.
3. Installed decorative items.
4. Items that are not entered in accordance with subdivision 15 of this section.

(General continued)

5. Detached structures other than garages and carports.

(O). Home inspectors shall not be required to describe or report on any system or component that is not included in these standards of practice and was not inspected.

(P). Home inspectors shall not be required to move personal property, furniture, equipment, plants, soil, snow, ice or debris.

(Q). These standards of practice are not Intended to limit home inspectors from excluding systems and components from the home inspection if requested by the client.



Comment 8:

A home inspection and resulting report is a snapshot in time. It conveys the home's condition only for the date and time of the inspection. Numerous changes can and may have occurred in the home between the inspection date and when you move in. I am always here to assist you with any questions or problems that may arise.



Comment 9:

If you're reading this report but did not hire me, Home Inspections Today LLC to perform the original inspection, please note that it is likely the conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of the home inspection is insignificant compared to the value of the home. Protect your family and your investment and please call me directly at 347-755-4484 to discuss the report your reading for this property so that we can arrange for a re-inspection.

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Sloped Away From Structure Condition: Satisfactory
Vegetation:	Growing Against Structure, Generally Maintained Condition: Satisfactory
Driveway:	Asphalt Condition: Satisfactory
Walkways:	Pavers Condition: Satisfactory
Walkways #2:	Asphalt Condition: Satisfactory
Steps:	Pavers Condition: Satisfactory
Patios:	Concrete Condition: Satisfactory



Comment 10:

The property appears to be graded properly to allow rain water and melting snow to divert away from the structure when there is a normal amount of precipitation. Recommend monitoring areas around the foundation within 6' for ruts and depressions where areas of water can collect and pool.

Unspecified Address

(Site continued)



Figure 10-1



Figure 10-2



Figure 10-3



Figure 10-4

(Site continued)

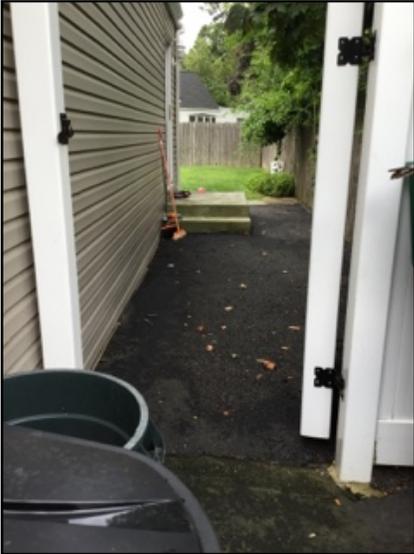


Figure 10-5



Figure 10-6



Figure 10-7



Figure 10-8

(Site continued)



Figure 10-9



Comment 11:

Shrub and tree growth are far enough away from the siding of the house except as noted below. Regular maintenance and pruning should be done on an ongoing basis to prevent contact in the future which could lead to wood rot and unwanted moisture contacting the siding of the house.



Figure 11-1



Figure 11-2

(Site continued)



Figure 11-3



Figure 11-4



Figure 11-5



Figure 11-6

(Site continued)



Comment 12:
Shrub and tree growth are against siding. Recommend Regular maintenance and pruning should done to prevent wood rot and unwanted moisture contacting the siding of the house.



Figure 12-1



Figure 12-2



Figure 12-3

(Site continued)



Comment 13:
The asphalt driveway was in good condition with minor cracks. Recommend regular sealcoating every 2-3 years to preserve the driveway and keep it from cracking and deteriorating. Underground tree roots, salt, snow melting products and lack of maintenance are the biggest contributors to asphalt deterioration.



Figure 13-1



Figure 13-2



Figure 13-3



Figure 13-4

(Site continued)



Comment 14:

The front walkway is in good condition with no major defects noted. Salt and snow melting products are the biggest contributors to surface deterioration. Regular maintenance is required to keep the walkway from deteriorating and cracking.



Figure 14-1



Figure 14-2



Figure 14-3



Figure 14-4

(Site continued)



Comment 15:

The front steps are in good condition with no major defects. Salt and snow melting materials are the largest contributor to surface deterioration.



Figure 15-1



Figure 15-2



Comment 16:

The side steps are in good condition with no major defects. Salt and snow melting materials are the largest contributor to surface deterioration.

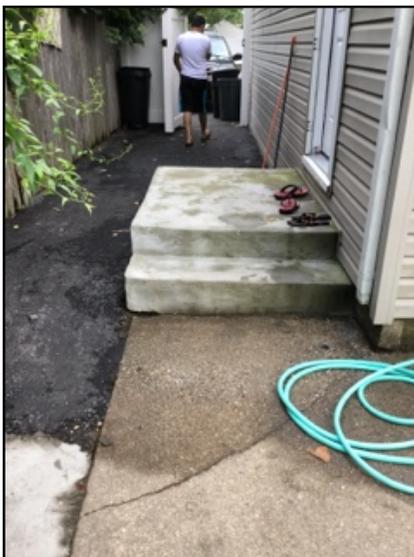


Figure 16-1



Figure 16-2

(Site continued)



Figure 16-3



Comment 17:

The side walkway is an asphalt walkway and in good condition with no major defects noted. Salt and snow melting products are the biggest contributors to surface deterioration. Regular maintenance is required to keep the walkway from deteriorating and cracking.



Figure 17-1



Figure 17-2

(Site continued)

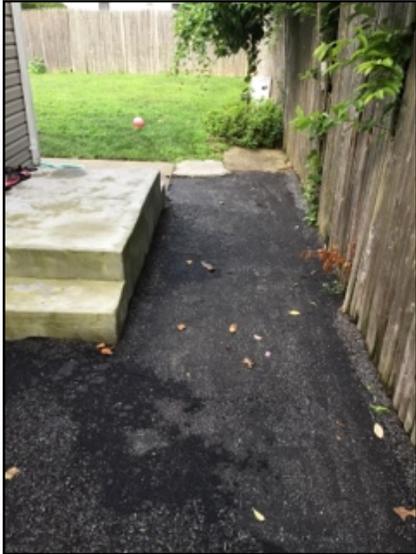


Figure 17-3



Comment 18:
There is a gap between the front steps and door. Recommend closing to prevent any water intrusion.



Figure 18-1



Figure 18-2

(Site continued)



Figure 18-3



Comment 19:

The patio is in good condition with no major defects or cracks noted. Salt and snow melting products are the biggest contributors to surface deterioration. Any cracks should be immediately sealed to prevent further deterioration and spreading. Regular cleaning and maintenance is recommended to keep the patio free of dirt and moss build-up, especially between any of the joints.



Figure 19-1



Figure 19-2

(Site continued)



Figure 19-3

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Vinyl Siding Condition: Satisfactory
Exterior Trim Material:	Vinyl Condition: Satisfactory
Windows:	Vinyl Condition: Satisfactory
Entry Doors:	Wood Condition: Satisfactory
Rear Entry Door:	Wood Condition: Satisfactory



Comment 20:

The exterior siding of the house is maintenance free vinyl and in good condition with no defects noted. Recommend regular cleaning and power washing to keep the siding in good condition.



Figure 20-1



Figure 20-2

Unspecified Address

(Exterior continued)



Figure 20-3



Figure 20-4



Figure 20-5

(Exterior continued)



Comment 21:

Vinyl siding is not high enough of the asphalt walkway. Recommended repairing as necessary to prevent any future damages.



Figure 21-1



Figure 21-2



Comment 22:

The windows are all maintenance-free wood/vinyl windows. No major defects were noted on the exterior on the day of inspection. The exterior of the windows were all wrapped in maintenance-free aluminum and in good condition.

(Exterior continued)



Figure 22-1



Figure 22-2



Figure 22-3



Figure 22-4

(Exterior continued)



Figure 22-5



Comment 23:
The front door is in good condition with no defects noted. Although not a defect, there was no combination screen and storm door and it is recommended to install one for energy efficiency purposes.



Figure 23-1



Figure 23-2

(Exterior continued)

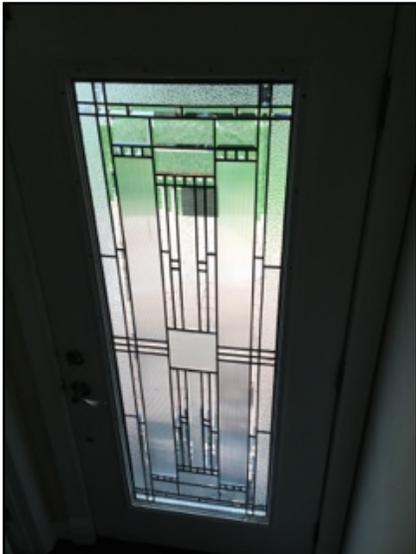


Figure 23-3



Comment 24:
The side door is in good condition with no defects noted. Although not a defect, there was no combination screen and storm door and it is recommended to install one for energy efficiency purposes.



Figure 24-1



Figure 24-2

(Exterior continued)

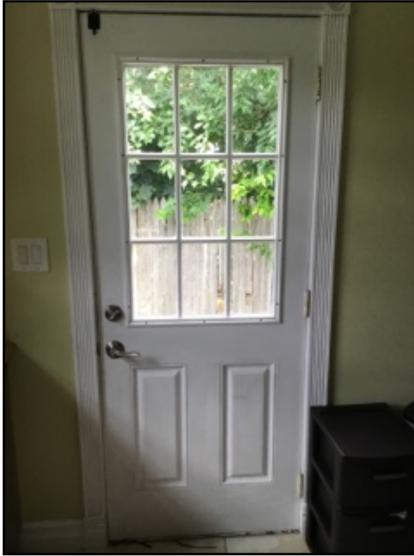


Figure 24-3

Garage

Garage Type: Attached
Condition: Satisfactory

Garage Size: 1 Car
Door Opener: Manual Opening
Condition: Satisfactory



Comment 25:

The 1 car attached garage is in good condition with no defects noted. The garage door is manually operated. The garage was fully sheet rocked for fire safety purposes.

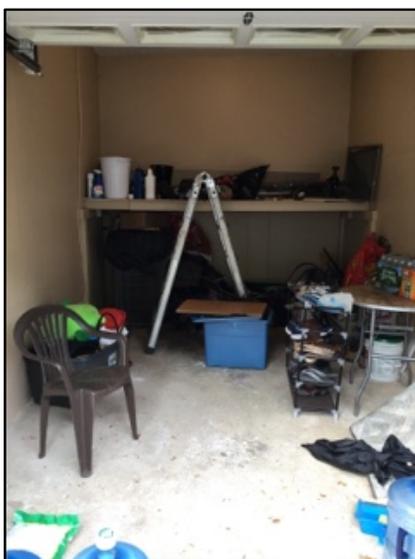


Figure 25-1



Figure 25-2

(Garage continued)



Figure 25-3



Figure 25-4



Figure 25-5



Figure 25-6

(Garage continued)



Figure 25-7

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	From Ground with Binoculars
Roof Design:	Gable
Roof Covering:	Architectural Condition: Satisfactory
Approximate Roof Age:	2 Years
Ventilation Present:	Soffit, Gable Ends Condition: Satisfactory
Vent Stacks:	Plastic Condition: Satisfactory
Chimney :	Brick Condition: Satisfactory
Flashings:	Metal Condition: Satisfactory
Soffit and Fascia:	Aluminum, Vinyl Condition: Satisfactory
Gutters & Downspouts:	Plastic Condition: Satisfactory



Comment 26:

The roof is comprised of architectural shingles and is approximately 2 years old. These type shingles are rated for a 30-100 year life expectancy depending on weather conditions, climate and other factors. Venting was proper with gable, ridge and soffit vents, and the plumbing stacks were noted and at an adequate height above the roof line.

(Roofing continued)



Figure 26-1



Figure 26-2



Figure 26-3



Figure 26-4

(Roofing continued)



Figure 26-5



Figure 26-6



Comment 27:

The chimney is in good condition with no major cracking in the mortar joints and flashed correctly to the roof. There is a proper spark arrestor and rain cap on the top of the chimney and no major defects were noted.

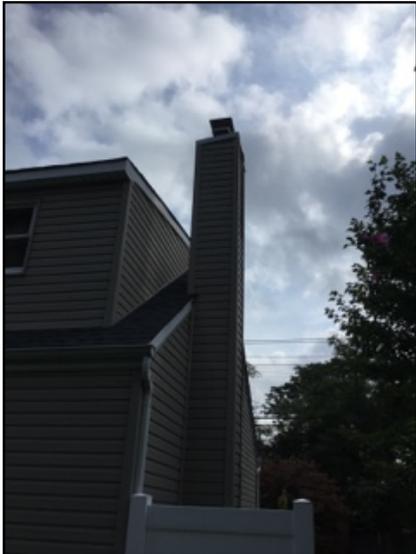


Figure 27-1



Figure 27-2

(Roofing continued)



Figure 27-3



Figure 27-4



Figure 27-5

(Roofing continued)



Comment 28:

The fascias and soffits are comprised of maintenance-free vinyl and aluminum and are in adequate condition. It is important to immediately repair any soffit or fascia materials that may become loose or dislodged to prevent water and ice from getting behind these surfaces and causing damage to any wood products.



Figure 28-1



Figure 28-2



Figure 28-3

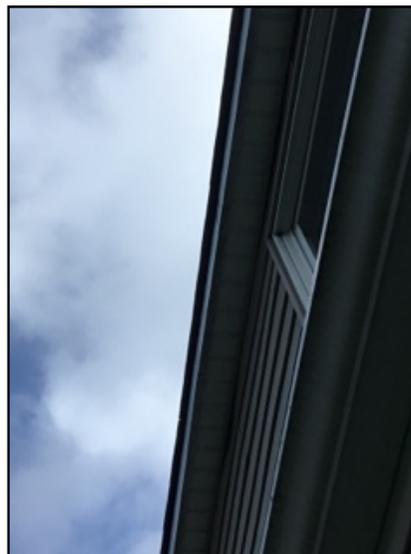


Figure 28-4

(Roofing continued)



Figure 28-5



Figure 28-6



Comment 29:

The gutters are aluminum and do not have proper extensions to divert rain water from the building. It appears that the gutters are functioning properly but the downspouts are not far enough away from the foundation and there are signs of moisture pooling against foundation. Recommend keeping gutters free and clear of debris as well as adding extensions to downspouts to prevent future damage to foundation.

(Roofing continued)



Figure 29-1



Figure 29-2



Figure 29-3



Figure 29-4

(Roofing continued)



Figure 29-5



Figure 29-6



Figure 29-7



Figure 29-8

(Roofing continued)



Figure 29-9



Figure 29-10



Figure 29-11



Figure 29-12

(Roofing continued)



Figure 29-13



Figure 29-14



Figure 29-15

Foundation

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Basement
Foundation Material:	Poured Concrete
	Condition: Satisfactory
Signs of Water Penetration:	None
	Condition: Satisfactory
Floor Structure:	Wood Frame
	Condition: Satisfactory
Wall Structure:	Wood Frame
	Condition: Satisfactory



Comment 30:

The foundation walls are poured concrete and in good condition on the exterior. There were no major cracks or defects noted on the exterior blocks of the foundation on the day of inspection.



Figure 30-1



Figure 30-2

(Foundation continued)



Figure 30-3



Figure 30-4



Figure 30-5



Comment 31:

The interior of the basement appears to be in good condition as there are no active water marks or stains and the moisture content in the foundation walls are low as measured with a moisture meter. The framing and support of the house as seen from the basement are in good condition (limited visibility due to the basement being mostly finished) and to traditional building methods. No major defects were noted on the interior on the day of inspection.

(Foundation continued)



Figure 31-1

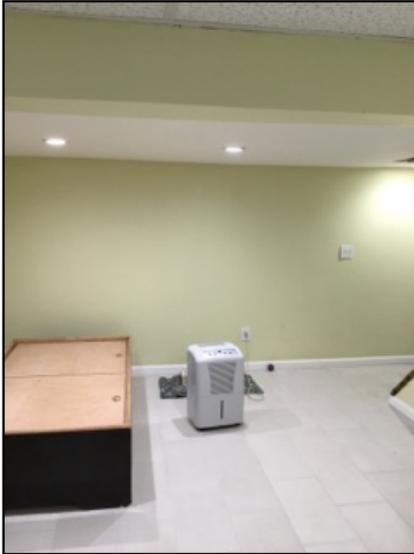


Figure 31-2



Figure 31-3



Figure 31-4

(Foundation continued)

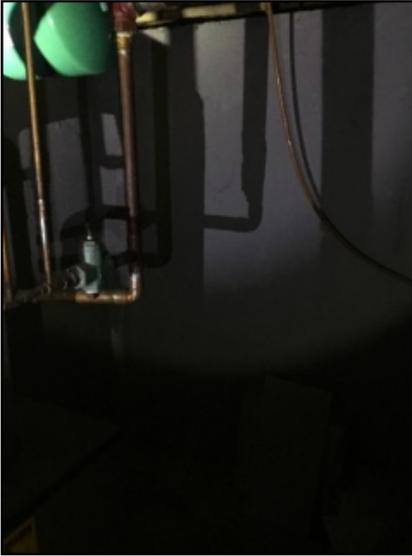


Figure 31-5

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Overhead
Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Service Panel Manufacturer:	Square D
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	120/240
Service Amperage:	200 amps
Service Panel Ground:	Ground Rod
Branch Circuit Wiring:	Non-Metallic Shielded Copper
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Smoke Detectors:	9 volt Battery Type
	Condition: Satisfactory



Comment 32:

The electrical service is overhead and to a meter on the side of the house. The electric panel was located in the basement and is 200 amp main service. The panel was in good condition with no defects noted and grounding was proper. There were no double taps or missing covers and there was additional room for expansion.

(Electrical continued)



Figure 32-1



Figure 32-2



Figure 32-3



Figure 32-4

(Electrical continued)



Figure 32-5

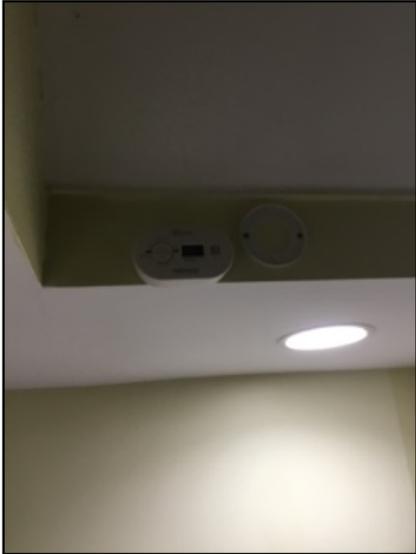


Figure 32-6



Figure 32-7

(Electrical continued)



Comment 33:

Smoke and carbon monoxide detectors are important safety devices designed to save lives. It is always recommended to install new detectors when moving into a home if they are 9 volt battery operated (not hard wired systems).

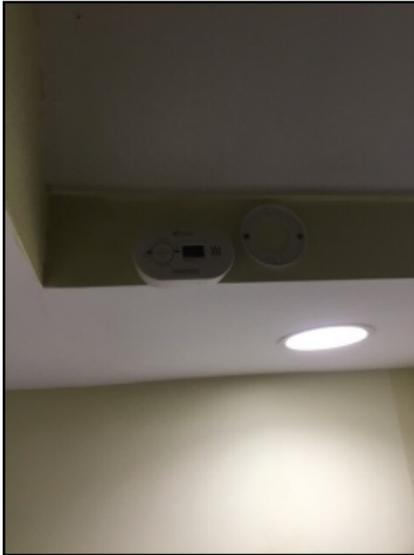


Figure 33-1

HVAC

HVAC System Type: Boiler

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Boiler
	Condition: Satisfactory
Manufacturer:	Peerless
Heating Fuel:	Oil
	Condition: Satisfactory
Approximate Age:	13 Year
Filter Type:	Disposable
	Condition: Satisfactory
Type of Distribution:	Pipes
	Condition: Satisfactory



Comment 34:

The boiler and hot water heater are combined and it's a Peerless Boiler oil fired unit and approximately 13 years old and in working condition. The unit appears to have been well maintained and serviced properly throughout the years as evidenced by the service tags. It is recommended to get annual servicing of the unit to keep it at peak operating efficiency.

(Heating continued)



Figure 34-1



Figure 34-2



Figure 34-3



Figure 34-4

(Heating continued)



Figure 34-5



Figure 34-6



Figure 34-7



Figure 34-8

(Heating continued)



Figure 34-9



Figure 34-10

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Satisfactory
Compressor Make:	Fujitsu
	Condition: Satisfactory
Compressor Approximate Age:	0-3 Years
Condensate Drainage:	To Exterior
	Condition: Satisfactory

(Cooling continued)



Comment 35:

The air conditioning system was tested and operated properly on the date of inspection. No major defects were noted and it is recommended to have proper servicing done annually to ensure maximum efficiency. The refrigerant lines and electrical disconnects were noted and in good condition.



Figure 35-1



Figure 35-2



Figure 35-3



Figure 35-4

(Cooling continued)



Figure 35-5

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
	Condition: Satisfactory
Supply Pipe Material:	PEX
	Condition: Satisfactory
Location of Main Water Shutoff:	Not Inspected
Sewer System:	Public
Waste Pipe Material:	Not Inspected



Comment 36:

The plumbing system in the house consists of public water and sewer systems. The water was run through all fixtures for 30 minutes and there were no leaks noted on the supply or drain sides, and no major defects were noted. The main sewer pipes and water meter were not inspected due to it being inaccessible. Material of pipes were also not determined. Numerous drain and water lines were not visible due to the basement being finished but no leaks were noticed at or on the basement ceiling.

Bathrooms

Bathroom #1

Location:	1st Floor
Bath Tub:	Recessed Condition: Satisfactory
Shower:	In Tub Condition: Satisfactory
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Tub Surround:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator, Window Condition: Satisfactory
GFCI Protection:	Outlets Condition: Repair or Replace



Comment 37:

The main bath was in working condition with no leaks noted at the sink, toilet or tub/shower. There was a window and exhaust fan for ventilation and no mold or mildew was noted on the walls or ceiling.

(Bathroom #1 continued)



Figure 37-1



Figure 37-2



Figure 37-3



Figure 37-4

(Bathroom #1 continued)



Figure 37-5



Figure 37-6



Figure 37-7



Figure 37-8

(Bathroom #1 continued)



Figure 37-9



Comment 38:

The outlet in the bathroom is a GFCI outlet and it did not operate properly the day of inspection. Recommend hiring a licensed electrician to replace the outlet with a GFCI outlet as necessary.



Figure 38-1

(Bathrooms continued)

1/2 Bathroom

Location:	Basement
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Window Condition: Satisfactory
GFCI Protection:	Outlets Condition: Repair or Replace



Comment 39:

The 1/2 bath was in working condition with no leaks noted at the sink or toilet. There was an exhaust fan for ventilation and no excess moisture or mold was noted. The GFCI was tested and operated properly.



Figure 39-1



Figure 39-2

(1/2 Bathroom continued)



Figure 39-3



Figure 39-4



Figure 39-5



Figure 39-6

(1/2 Bathroom continued)



Comment 40:

The outlet in the bathroom is a GFCI outlet but is not working or tripping with my test equipment and is a safety hazard. Recommend hiring a licensed electrician to replace the existing outlet with a working GFCI outlet as necessary.



Figure 40-1

Kitchen

Cabinets: Wood
Condition: Satisfactory

Countertops: Granite
Condition: Satisfactory

Sink: Single
Condition: Satisfactory



Comment 41:

The kitchen was in working condition with no major defects noted. There were no leaks at the sink or dishwasher, and all the appliances were tested and operated properly on the date of inspection. All the cabinets and countertops were operational and secure. The exhaust fan over the stove (range hood exhaust) were tested and operated properly on the date of inspection.



Figure 41-1



Figure 41-2

(Kitchen continued)



Figure 41-3



Figure 41-4



Figure 41-5



Figure 41-6

(Kitchen continued)



Figure 41-7



Figure 41-8



Figure 41-9



Figure 41-10

(Kitchen continued)



Figure 41-11



Figure 41-12



Comment 42:

The outlets in the kitchen sink area are not GFCI and this is a safety hazard. Recommend hiring a licensed electrician to replace all outlets within 6' of the sink with GFCI outlets.



Figure 42-1



Figure 42-2

(Kitchen continued)



Comment 43:

Cabinet door in the kitchen was broken and missing. Recommend replacing with new door.



Figure 43-1



Comment 44:

The dishwasher did not perform a loop to create a trap under sink.



Figure 44-1

(Kitchen continued)

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Cooktop:	Frigidaire Condition: Satisfactory
Range Hood:	Sakura Condition: Satisfactory
Refrigerator:	Frigidaire Condition: Satisfactory
Dishwasher:	Frigidaire Condition: Satisfactory



Comment 45:

All the appliances were tested and were in working condition and the sink is a single unit in good condition with no leaks noted on the day of inspection.



Figure 45-1



Figure 45-2

(Appliances continued)



Figure 45-3



Figure 45-4



Figure 45-5

Laundry

Dryer Venting:	No Venting Condition: Repair or Replace
GFCI Protection:	No Condition: Repair or Replace
Laundry Hook Ups:	Yes Condition: Satisfactory
Washer:	Samsung Condition: Satisfactory
Dryer:	Samsung Condition: Satisfactory



Comment 46:

The laundry area was in acceptable condition with no major defects noted. There were no leaks at the washing machine connections.



Figure 46-1



Figure 46-2

(Laundry continued)



Figure 46-3



Figure 46-4



Figure 46-5



Figure 46-6

(Laundry continued)



Comment 47:

The outlet in the laundry area was not a GFCI outlet and is a safety hazard as it is directly below/next to the water supply lines. Recommend hiring a licensed electrician to replace the existing outlet with a GFCI outlet as necessary. The exhaust hose for the dryer is not connected to the dryer. The hose is also a ribbed hose you would want it to be solid metal. This is a huge fire and safety hazard. Recommend hiring a qualified contractor to install a dryer vent and to the exterior.

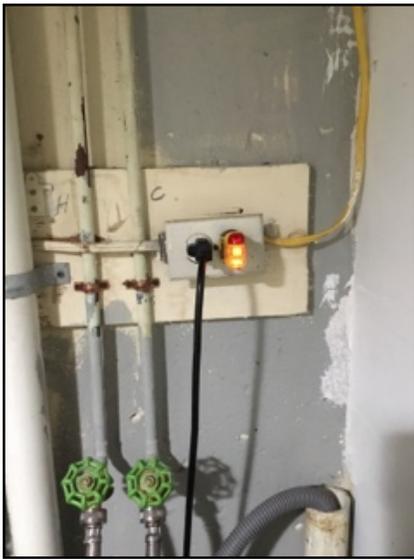


Figure 47-1

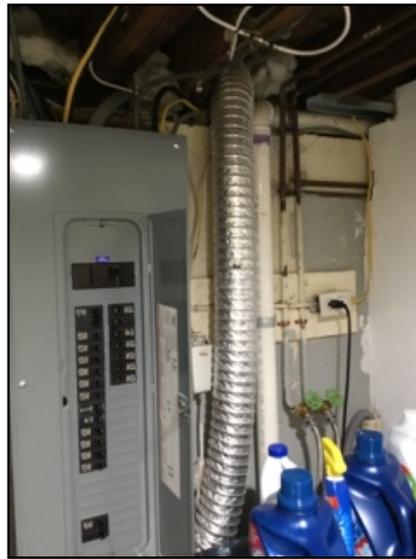


Figure 47-2



Figure 47-3

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Wood Laminate Condition: Satisfactory
Walls:	Drywall Condition: Satisfactory
Ceilings:	Drywall Condition: Satisfactory
Window Types:	Double Hung, Casement Condition: Satisfactory
Window Materials:	Wood, Vinyl
Entry Door Types:	Hinged Condition: Satisfactory
Entry Door Materials:	Wood
Interior Door Materials:	Wood
Electrical Outlets:	3 pronged - Grounded



Comment 48:

The interior was in overall good condition with no major defects noted. All floor surfaces were in good condition and the majority of the electrical outlets were three-pronged and grounded properly. There were no major cracks or holes in the walls or ceilings, and the floors were level with minimal bounce. Windows were tested randomly and operated properly.

(Interior continued)



Figure 48-1



Figure 48-2



Figure 48-3

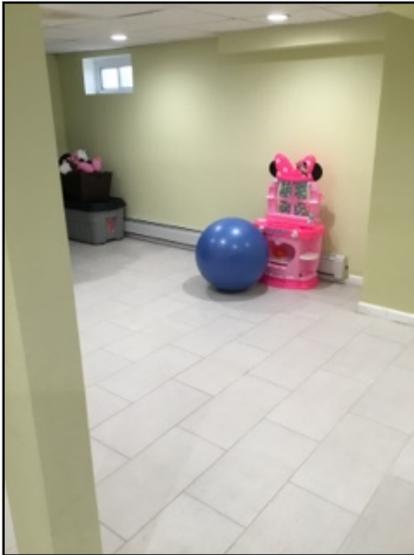


Figure 48-4

(Interior continued)



Figure 48-5



Figure 48-6



Figure 48-7

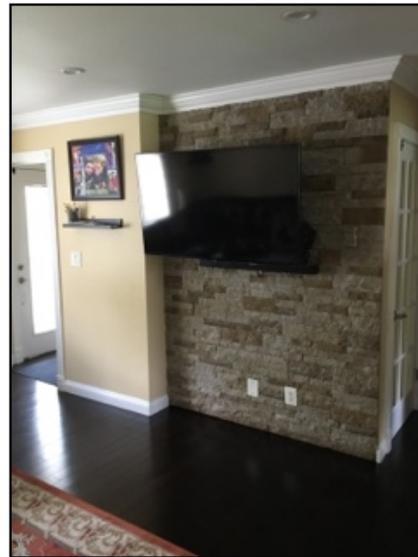


Figure 48-8

(Interior continued)



Figure 48-9

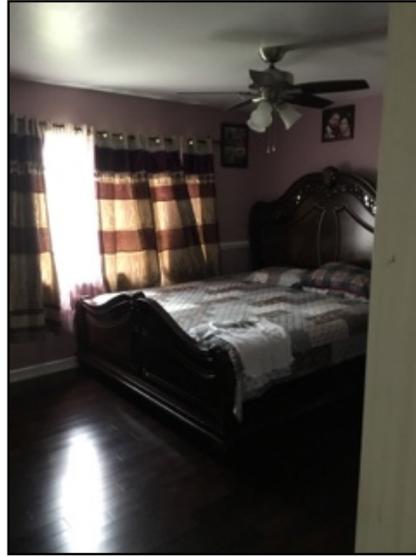


Figure 48-10



Figure 48-11



Figure 48-12

(Interior continued)



Figure 48-13

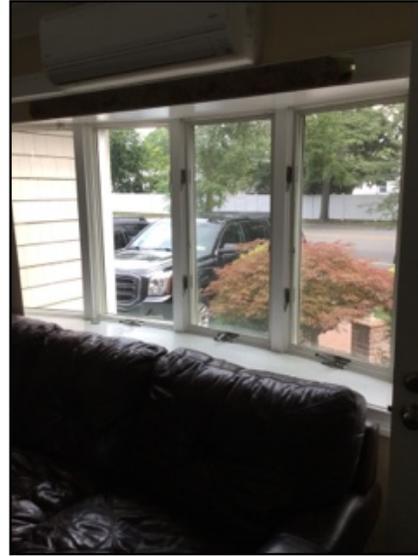


Figure 48-14

Report Summary

Site

1) Shrub and tree growth are against siding. Recommend Regular maintenance and pruning should done to prevent wood rot and unwanted moisture contacting the siding of the house.



Figure 12-1



Figure 12-2



Figure 12-3

2) There is a gab between the front steps and door. Recommend closing to prevent any water intrusion.

(Report Summary continued)



Figure 18-1



Figure 18-2



Figure 18-3

(Report Summary continued)

Exterior

3) Vinyl siding is not high enough of the asphalt walkway. Recommended repairing as necessary to prevent any future damages.



Figure 21-1

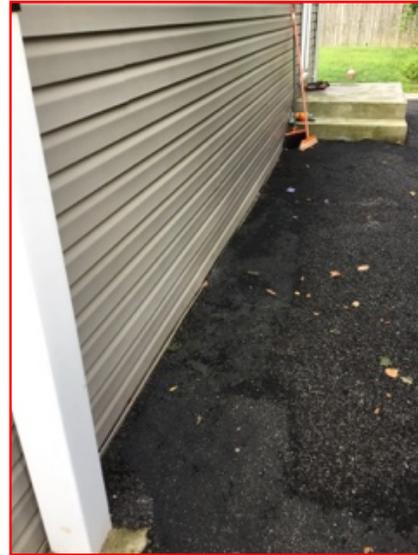


Figure 21-2

Roofing

4) The gutters are aluminum and do not have proper extensions to divert rain water from the building. It appears that the gutters are functioning properly but the downspouts are not far enough away from the foundation and there are signs of moisture pooling against foundation. Recommend keeping gutters free and clear of debris as well as adding extensions to downspouts to prevent future damage to foundation.

(Report Summary continued)



Figure 29-1



Figure 29-2



Figure 29-3



Figure 29-4

(Report Summary continued)



Figure 29-5



Figure 29-6



Figure 29-7



Figure 29-8

(Report Summary continued)



Figure 29-9



Figure 29-10



Figure 29-11



Figure 29-12

(Report Summary continued)



Figure 29-13



Figure 29-14



Figure 29-15

(Report Summary continued)

Electrical

5) Smoke and carbon monoxide detectors are important safety devices designed to save lives. It is always recommended to install new detectors when moving into a home if they are 9 volt battery operated (not hard wired systems).



Figure 33-1

Bathrooms: Bathroom #1

6) The outlet in the bathroom is a GFCI outlet and it did not operate properly the day of inspection. Recommend hiring a licensed electrician to replace the outlet with a GFCI outlet as necessary.

(Report Summary continued)

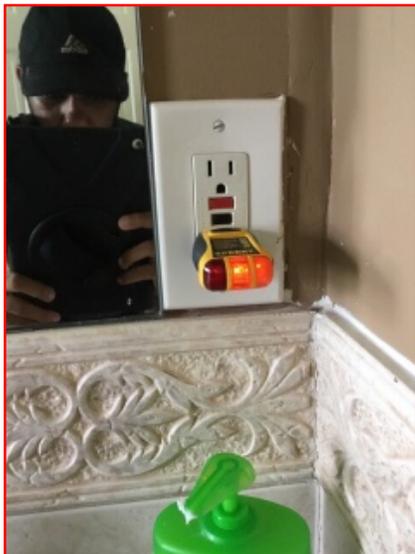


Figure 38-1

Bathrooms: 1/2 Bathroom

7) The outlet in the bathroom is a GFCI outlet but is not working or tripping with my test equipment and is a safety hazard. Recommend hiring a licensed electrician to replace the existing outlet with a working GFCI outlet as necessary.



Figure 40-1

(Report Summary continued)

Kitchen

8) The outlets in the kitchen sink area are not GFCI and this is a safety hazard. Recommend hiring a licensed electrician to replace all outlets within 6' of the sink with GFCI outlets.



Figure 42-1



Figure 42-2

9) Cabinet door in the kitchen was broken and missing. Recommend replacing with new door.



Figure 43-1

(Report Summary continued)

10) The dishwasher did not perform a loop to create a trap under sink.



Figure 44-1

Laundry

11) The outlet in the laundry area was not a GFCI outlet and is a safety hazard as it is directly below/next to the water supply lines. Recommend hiring a licensed electrician to replace the existing outlet with a GFCI outlet as necessary. The exhaust hose for the dryer is not connected to the dryer. The hose is also a ribbed hose you would want it to be solid metal. This is a huge fire and safety hazard. Recommend hiring a qualified contractor to install a dryer vent and to the exterior.

(Report Summary continued)



Figure 47-1



Figure 47-2



Figure 47-3